



Design Statement

November 2025

Proposed Development at Firhouse Inn

Firhouse Road, Dublin 24

for Bluemont Developments (Firhouse) Ltd.

 mahony pike

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	architecture urban design	Dublin	Cork
	www.omahonypike.com	The Chapel	One South Mall
	info@omp.ie	Mount Saint Anne's	Cork City
		Milltown, Dublin 6	Co. Cork
		D06 XN52 Ireland	T12 CCN3 Ireland
	Tel: +353 1 202 7400	Tel: +353 1 202 7400	Tel: +353 21 427 2775

Directors: Vincent Hanratty Dip.Arch.Tech., RIAI (Arch.Tech) | Michael Hussey Dip.Arch., B.Arch.Sc., MRIAI | Conor Kinsella B.Sc. Arch., B.Arch., MRIAI | Derbhile McDonagh Dip.Arch., B.Arch.Sc., M.Sc. Real Estate MRIAI | Derek Murphy B.A.(Hons), Dip.Arch., BEAM Pro, HKIA(Assoc), MRIAI, RIBA | Orlaith O’Callaghan Dip.Arch., B.Arch.Sc. | Alex Schoenmakers Dip.Arch.Tech., RIAI (Arch.Tech)

O’Mahony Pike Architects Ltd. Registered in Ireland | Reg. No. 187129 VAT Reg. No. IE6587129J

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1 | Introduction

1.1 Project Overview

This report has been prepared by O’Mahony Pike Architects on behalf of Bluemont Developments (Firhouse) Ltd. for the development of lands at Morton’s Inn Firhouse, Firhouse Road, Dublin 24. This report outlines changes proposed as part of an Amendment Application to the permitted scheme granted under Reg. Ref. LRD24A/0001 / ABP Ref. 319568-24.

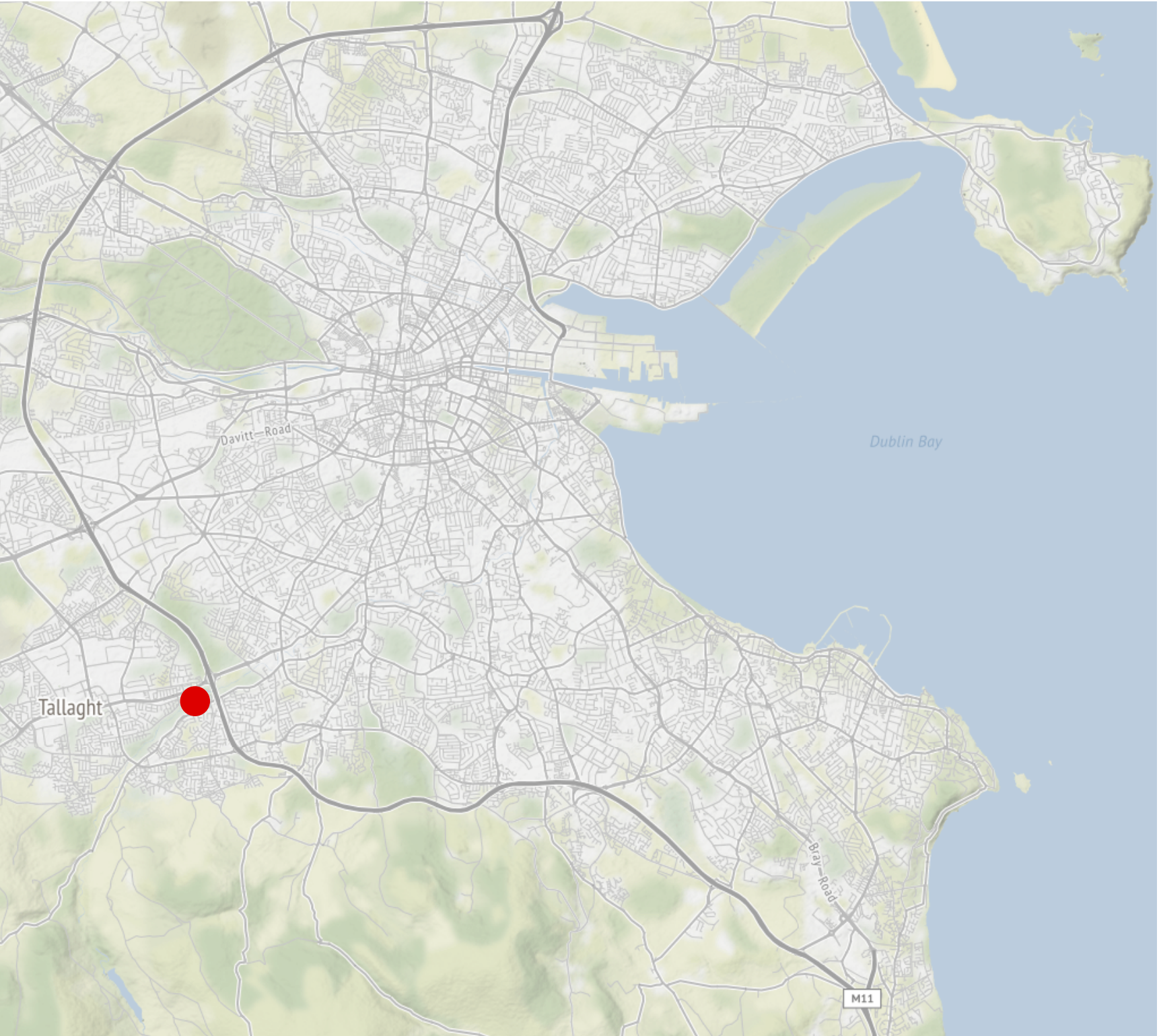
1.2 Project Summary

The permitted development consists of the following:

- Construction of 78 no. units (comprising of 2 no. studios, 33 no. 1 bed apartments and 27 no. 2 bed apartments, 2 no. 3Bed apartments, 2 no. 1 Bed duplexes and 2 no. 2 Bed duplexes) in 2 blocks ranging from 3 to 4 storeys, 5 no. commercial units and a childcare facility.
- Balconies and/or private terraces provided for all apartments.
- Carparking and secure cycle parking spaces provided at podium and basement level.
- The permitted development also includes ESB substations and switchrooms, public open space, communal open space, landscaping, boundary treatment, lighting, bin stores, plant rooms, site services and all associated site works.



Context Aerial View



2 | Proposed Amendments

2.1 Summary

Amendments to Massing + Form

- Rationalisation of footprint and form
- Omission of pitched roof to reduce height, volume and scale

Amendments to General Arrangement

- Surface Level Parking Provision
- Rationalisation and amended floorplan Layouts
- Amended Unit Mix

Amendments to Elevation Strategy

- Architectural Expression informed by Precast Panel Construction
- Character and Detail from Architectural Elements



2.2 Analysis of ABP Conditions

2. The development hereby permitted contains 78 dwelling units only.

Reason: In the interest of clarity.

3. The proposed development shall be amended as follows:

(a) Block B01 shall have a maximum height of four storeys. This shall be achieved by the omission of 10 number units on level 3 as identified on drawing number 20022A-OMP-ZZ-03-DR-A-1003 units B01.0301 - B01.0310.

(b) Block B02 shall have a maximum height of four storeys. This shall be achieved by the omission of 11 number units on level 3 identified on drawing number 20022A-OMP-ZZ-03-DR-A-1003 – units B02.0301- B02.0311.

(c) The proposed ground floor studio unit in B02.G101 in Block B02 shall be omitted, and the area amalgamated with the medical consultancy to provide a total commercial floor area of 120 square metres.

(d) The proposed red brick finish to the internal podium facing elevation of Block B02 shall be replaced with the buff-coloured brick.

Reason: In the interest of the visual amenity of the streetscape and in the interests of residential amenity, proper planning and sustainable development.

2 - Affected by Proposed Amendments

The proposed amendments are for an 83 unit scheme, to ensure the viability of the development, but achieved within a reduced massing relative to the permitted scheme, and to comply with the newly published apartment standards, but also to achieve a more rational and coherent architectural form.

3(a) - No Contradiction Within Proposed Amendments

Block B01 is a maximum of four storeys in the proposed scheme.

3(b) - No Contradiction Within Proposed Amendments

Block B02 is a maximum of four storeys in the proposed scheme.

3(c) - No Contradiction Within Proposed Amendments

No ground floor studio unit is included at Level 00 of Block 02 in the proposed scheme.

3(d) - Affected by Proposed Amendments

The scheme presented within the subject application includes proposed amendments to the elevation and material strategies.

Outline of How the Proposed Amendments Comply with the Reason of the Condition

Visual Amenity of the Streetscape

The visual amenity of the streetscape of Mount Carmel Park and Firhouse Road

No amendments are proposed to the permitted number of storeys in Block 01 , which faces onto Mount Carmel Park. The omission of the permitted pitched roof volume reduces the height of the block, and the proposed amendments to the elevations rationalise the positioning and reduce the number of projecting balconies, further emphasising the mews character along that street, resulting in improved visual amenity along Mount Carmel Park.

The materiality and elevational strategy of Block 02 is proposed to reduce the perceived scale from Firhouse Road. The upper levels are stepped back at levels 01-03 and create a more coherent relationship between the civic language of the collonade facing the public open space and the upper levels of Block 02, thereby also improving the visual amenity of that streetscape.

Residential Amenity - Surrounding Dwellings

The proposed omission of the pitched roof volume reduces the height of Block 01, thereby improving the residential amenity of the nearby dwellings on Mount Carmel Park. The amenity of the dwellings on the opposite side of Firhouse Road would also be improved by the omission of the pitched roof thus reducing the perceived scale of the development.

Residential Amenity - Within the Scheme

Careful consideration has been given to the positioning of private and amenities and the landsaping of the communal courtyard to provide an inviting, safe and secure enviroment for tenants and visitors to the development.

Proper Planning and Sustainable

We do not consider the proposed amendments contradict the interests of proper planning and sustainable development established by the granting of the previous permission.

3. The proposed development shall be amended as follows:

- (e) Opaque glazing or other window obscuring design interventions are not permitted to the ground floor commercial unit of Block 2 (medical consultancy). Interaction between the unit and the street level is to be achieved.
- (f) Wardrobe space shall not be counted towards a unit's overall storage provision. This does not provide dedicated space for the storage of other household items and is not accepted to make up a shortfall in storage provision. The layouts of unit types A2N, A2A1, A3A1, A3A2, A2L1, A2L2, A2D1 and A2J shall be revised to ensure that a minimum of 75% of a unit's storage is accessed from living or circulation areas, and not bedroom wardrobe storage.
- (g) Revised proposals to enhance the useability of the private amenity space of Unit Type A1F (Drawing number 20022A-OMP-ZZ-04-DR-A-1004).
- (h) Redesign of Unit Type A2D2 to provide a widow to the second bedroom. The revised layout shall ensure no overlooking of the adjoining balcony serving B02 0212 to serve the current layout would look into the balcony of an adjoining unit.
- (i) Provision of an appropriate privacy strip serving Unit B01.G207.
- (j) Amendment to fenestration serving Unit B01.0106 so that the window does not look into the private amenity space of Unit B01.0107.
- (k) Inclusion of an appropriate privacy strip between the windows of Unit B01.0203 and the communal amenity space.
- (l) A safe and easy route from the bicycle storage to Block B02 shall be provided and indicated on drawings. A direct, stepped, access from the bicycle storage to the car park should ideally be provided to maximise the accessibility and convenience of the bike.

The revised plans and particulars showing compliance with these requirements shall be submitted to, and agreed in writing with, the planning authority prior to commencement of development.

Reason: In the interest of the visual amenity of the streetscape and in the interests of residential amenity, proper planning and sustainable development.

3(e) - No Contradiction Within Proposed Amendments

The proposed elevations do not show any obscuring design interventions, to ensure the interaction between the unit and street level is achieved.

3(f) - No Contradiction Within Proposed Amendments

The storage provision for all unit types in the proposed scheme shall not include wardrobe space.

3(g) - No Contradiction Within Proposed Amendments

The proposals ensure optimal useability of all private amenity spaces in all proposed unit types.

3(h) - No Contradiction Within Proposed Amendments

The proposals provide windows in all proposed unit types.

3(i) - No Contradiction Within Proposed Amendments

An appropriate privacy strip is provided for all proposed unit types.

3(j) - No Contradiction Within Proposed Amendments

No windows within the proposed unit types shall look into the amenity space of another unit.

3(k) - No Contradiction Within Proposed Amendments

All windows in any proposed unit types that overlook communal amenity space shall be provided with an appropriate privacy strip.

3(l) - No Contradiction Within Proposed Amendments

The location and layout of the proposed bicycle storage within the proposed amendments ensures a safe and easy route to Block 02, and direct access from the carpark is provided.



Omission of the Pitched Roof

Due to the evolution of the design through each stage of the planning process, the pitched roofs are now incongruous with the permitted massing and form. The proposed omission of the pitched roof would result in:

- A reduced overall height and massing, thereby reducing the impact on the neighbouring dwellings and surrounding context.
- Provision of green or blue roofs, improving the SUDS strategy on a relatively constrained site.
- Improved daylight levels within the scheme and podium level communal amenity space.
- Simplified and rationalised construction, resulting in more standardised detailing and efficient delivery.



Rationalisation of Footprint and Form

To facilitate the preferred construction method of precast facade panels it is proposed that the angular or geometric projections that occur in several places be omitted, for ease of construction and for improvement of the overall form.



4 | General Arrangement + Layouts

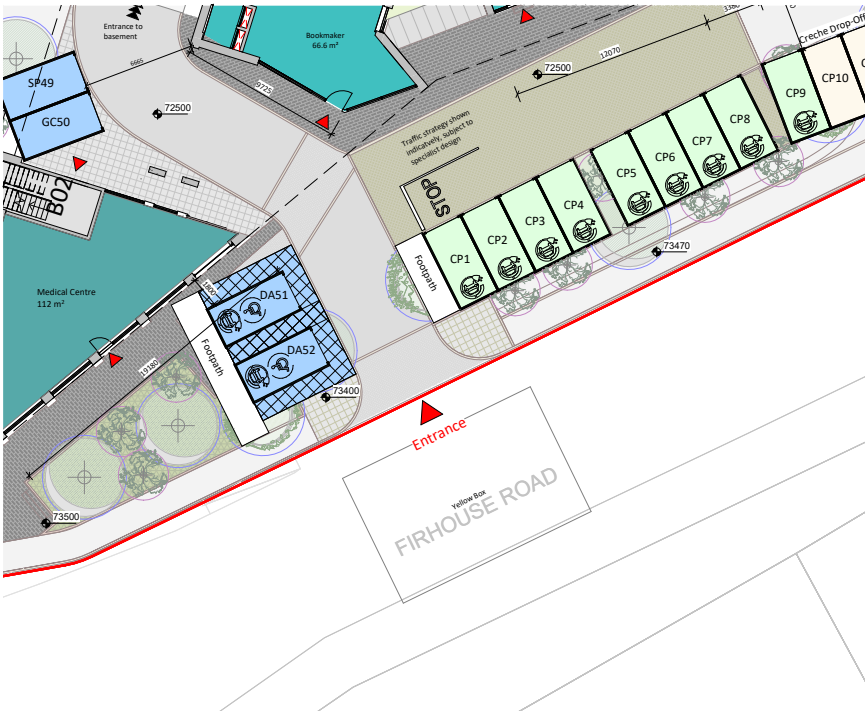
Adjustment of Floorplan Layouts

Minor amendments to the general arrangement layouts are also proposed, so that the floorplans stack better, for ease of construction and to satisfy fire safety requirements. No change to overall footprint however the unit mix has been revised.



Surface Level Parking Provision

To satisfy the requirements and concerns of future tenants of the commercial units, carparking at surface level is proposed. This includes an accessible carparking space in front of the medical centre and adjacent to the public open space, to ensure ease of access if required. The proposed parking layout would still accommodate the waste collection strategy as per the previously permitted scheme, and the overall parking provision is retained.



5 | Elevation Strategy

Architectural Expression of the Construction Methodology

The precast facade panel method of construction ensures factory condition quality control and efficiency of delivery.

Each facade will be comprised of panels and joints.
The size of each panel depends on the capacity and position of the crane, relative to the final location of the particular panel, and so does the position of each joint.

To streamline coordination and ensure maximum flexibility in the placement of panel joints, the elevation strategy embraces the

joint as architectural feature, and generator of a modular grid. Expressed on the facades, the grid is established by way of separation, repetition and symmetry, generated from required datums, distances and relationships between fenestration and ventilation elements, and horizontal and vertical axes of alignment.

This results in a subtle detail that adds scale and visual interest to the repetitive rigour of the facade of the residential blocks.

Architectural Elements as Features

To align with the graphic nature of the facade grid, monochromatic facade elements are proposed. Window and door frames, ventilation grilles, balcony balustrading would be colour matched to each other and contrast the gridded background of the facade, resulting in a contemporary character generated from the method of construction.

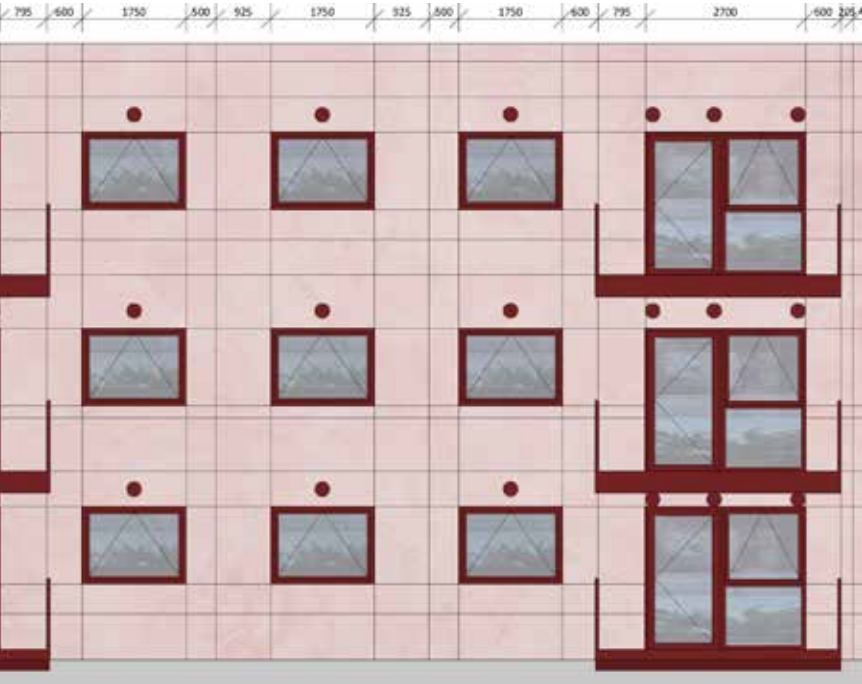
Collonade and Gable End of Block



View of Facade Grids



Elevation Study



Materiality

Light red brick is the foundation of the proposed palette, and the basis for proposed tone, texture and colour. The spectrum of tones - from bright to warm- is used across the scheme to emphasise or articulate the architectural form, provide visual interest, while maintaining an architectural coherence.



Areas of Particular Character

Key principles of the material strategy of the permitted scheme are retained. This includes the presentation of strong frontage onto the public open space, defined by the white composite stone clad podium, providing a clear material distinction from the volumes above. The columns of the collonade further emphasise the civic, more public character suggested by the contrasting materiality, identifying as a neighbourhood destination. It also includes the mews-like character of the own-door units and creche along

Mount Carmel Park. These are articulated as townhouses on the new street, by way of choice of materials and detailing, and the use of brick and the same composite stone as the collonade.

The volume above the medical centre, in a prominent position in relation to the public open space, also uses brick to create a contrasting character.

