

Level 02 - Proposed

- Form of both blocks rationalised and footprint reduced for ease and efficiency of construction, to provide a more coherent architectural form, and to satisfy fire safety requirements.
- Balconies along eastern facade rationalised and recessed for ease of construction.
- Apartment mix of GA layout of B01 adjusted.
- Southern core of B02 reorientated and corridor length reduced to satisfy fire safety requirements and facilitate ease of construction.
- Apartment mix of GA layout of B02 adjusted- 3bed unit relocated.
- Rooftop communal amenity space, and screening strategy along eastern boundary, retained.

Proposed



Level 03 - Permitted



Permitted

Level 03 - Proposed

- Form of both blocks rationalised and footprint reduced for ease and efficiency of construction, to provide a more coherent architectural form, and to satisfy fire safety requirements.
- Apartment mix of GA layout of B02 adjusted- 3bed unit relocate to lower levels,
- Rooftop communal amenity space, and screening strategy along eastern boundary, omitted.
- Green/ Blue roofs proposed for flat roofs as part of SUDS strategy.

Proposed



Roofplan- Permitted



Permitted

Roofplan - Proposed

- Pitched roof, dormer windows and chimney elements omitted.
- Roof plan reflects rationalised form and footprint.
- Articulates the scale of different elements within the overall massing to provide a coherent architectural form.
- Both blocks present symmetrical gables to Firhouse Road, strengthening the overall composition.
- Green/ Blue roofs proposed for flat roofs as part of SUDS strategy on all levels except Level 02 of B01.



Proposed

7 | Elevations - Permitted and Proposed

Firhouse Road Elevation (South) - Permitted



Permitted

Firhouse Road Elevation (South) - Proposed



Proposed

North Elevation - Permitted



Permitted

East Elevation - Proposed



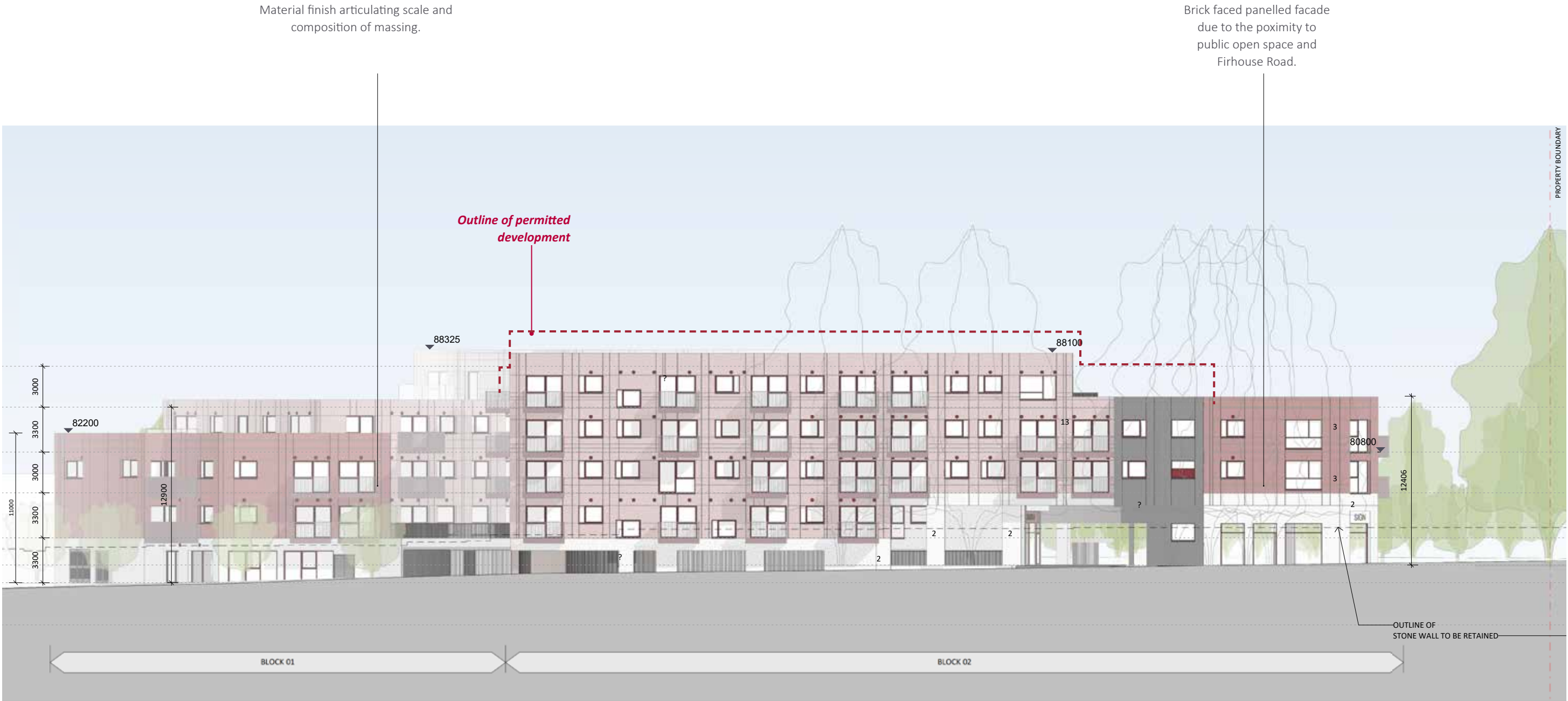
Proposed

North West Elevation - Permitted



Permitted

North West Elevation - Proposed



Proposed

North Elevation - Permitted



Permitted

North Elevation - Proposed



Proposed

Podium Elevation West - Permitted



Permitted

Podium Elevation West - Proposed



Proposed

Podium Elevation West - Permitted



Permitted

Podium Elevation East - Proposed



Proposed

08 | Aerial Views - Permitted and Proposed

South East Aerial View - Permitted



Permitted

South East Aerial View - Proposed

Rationalised form and block gable.

Pale render finish with modular grid to courtyard facades.

Pitched roof omitted and reduced overall height of B01. Provision of green or blue roofs.



Proposed

South West Aerial View - Permitted



Permitted

South West Aerial View - Proposed



Proposed

North West Aerial View - Permitted



Permitted

North West Aerial View - Proposed



Proposed

North West Aerial View - Permitted



Permitted

North West Aerial View - Proposed



Proposed

09 | Statement of Response (Post-S247 Feedback)

SDCC Comments: Planning Comments

Density:

The density recommended for approval under LRD24A/0001 was supported based on several factors, one being the availability of car parking provided on site. Concerns are raised over the number of car parking spaces being lost and consequently the scheme’s ability to support the proposed increase in density. Opportunities to retain as much as the previously approved car parking should be considered, particularly in light of the Commission’s remarks in relation to density and public transport availability under LRD24A/0001. In summary, additional justification is required to support the proposed increase in density, demonstrating that the development is appropriate in terms of scale, character, impact on the surrounding area and car parking ratios.

SUDS:

Opportunities for rooftop SuDS should be maximised.

Contiguous Elevations:

These still show trees that no longer exist. These elevations should be updated to reflect the current on-site situation.

Design Statement:

Too much emphasis is placed on a scheme that was never assessed (or supported) by the Planning Authority in this document. Whilst the Planning Authority welcomes some discussion on the evolution of the proposed design changes, it should not dominate the full Design Statement. Preference instead is to see more emphasis on the comparison between the final scheme approved by the Commission and that currently proposed.

On August 21st 2025 a 247 Consultation was held to discuss the amendments as set out within this document. The following section seeks to respond to the Local Authority feedback received following this meeting

Density

While internal parking hase been reduced by 6no. spaces, additonal parking (13no. spaces) are now proposed externally within the site boundary along Firhouse Road. This includes parking for residents and the commercial units proposed featuring both accessible bays and EV charging spaces. These 7no. additional spaces bring the sitewide parking ratio to 0.75 spaces per unit (an uplift from 0.72 per unit within the permitted scheme).

SUDS

NOTE: Detailed information regarding this particular item can be found within the Landscape Architecture Design Rationale and Statement of Response which has been prepared by *Jane McCorkell Design* as part of this application. This is further informed by the Water Services Report which has been prepared by *BMCE*. As part of the decision to omit the pitched roof a green-blue roof is now proposed improving the SUDS strategy on a relatively constrained site. Details of which can be found within the engineering pack by *BMCE*.

Contiguous elevations

All contiguous elevations have been amended to reflect the current on-site situation. NOTE: Detailed information regarding this particular item can be found within the arborist’s Tree Survey, Schedule and Impact Assessment which has been prepared by *Charles McCorkell Aboricultural Consultancy* as part of this application.

Design Statement

This feedback was noted and has informed the structure of this report in its entirety.

SDCC Comments: *Planning Comments*

External Materials/ Design:

The approved scheme comprises of a range of high-quality finishes. When assessing the parent planning permission, significant weight was given to the role of the external finishes in helping to reduce the scale, mass and bulk of the proposal when viewed from the surrounding streetscape and how they would help the scheme assimilate within the site’s more traditional two storey residential setting. Concerns are raised that some of the high-quality treatments have been lost through these latest changes, which in term is likely to affect the scale and mass of the building when viewed from the adjoining area. Preference is to see the approved external treatments retained. Alternatively, strong justification should be provided for any significant deviation from these finishes.

Roof Profile:

Justification should be included in the final application as to why the change

External Materials/ Design:

Light red brick is the foundation of the proposed palette, and the basis for proposed tone, texture and colour. The spectrum of tones- from bright to warm- is used across the scheme to emphasise or articulate the architectural form, provide visual interest, while maintaining an architectural coherence. Key principles of the material strategy of the permitted scheme are retained. This includes the presentation of strong frontage onto the public open space, defined by the white composite stone clad podium, providing a clear material distinction from the volumes above. Where new materials have been proposed i.e. the use of precast facade panels, they have been proposed in tones that compliment the original palette and are intended to enhance the efficiency of construction while assiting in the articulation and arhcitectural expression of the blocks. A detailed study of this approach is illsutrated on pages 10-11 of this report.

This materials strategy is further illustrated within the Verified Photomontages prepared by *Digital Dimensions* to accompany this application.

Roof Profile:

As illustrated on Page 08, due to the evolution of the design through each stage of the planning process, the pitched roofs are now incongruous with the permitted massing and form. The proposed omission of the pitched roof would result in:

- A reduced overall height and massing, thereby reducing the impact on the neighbouring dwellings and surrounding context.
- Provision of green or blue roofs, improving the SUDS strategy on a relatively constrained site.
- Improved daylight levels within the scheme and podium level communal amenity space.
- Simplified and rationalised construction, resulting in more standardised detailing and efficient delivery.

This rationale is further illustrated with contiguous elevations and Axonometric drawings in Chapters 7 & 8 of this report

SDCC Comments: Roads

Car Parking Ratio:

The SDCC Roads Department raised significant concerns over the revised car parking rates being proposed, particularly in light of the limited public transport available in the area and the proposed increase in apartment numbers. It was advised that any amendment application should seek to retain the rate approved under the parent planning application and that very strong justification would be required to support any reduction in car parking rates below the levels currently permitted on site.

Taking in Charge:

Any areas to be taken in charge should be clearly marked on a separate TIC plan.

Turning Circles:

Show tracking for all vehicles and turning circles for refuse vehicle on final plans..

Car Parking Ratio:

While basement parking has been reduced by 8no. spaces, additional parking is now proposed at surface level within the site boundary along Firhouse Road.

Taking in Charge:

Areas to be Taken in Charge are indicated on the TIC plan within the architectural drawing pack. Please refer to drawing number: *20022B-OMP-00-SP-DR-A-1001_Proposed Taken in Charge Plan.*

Turning Circles:

Detailed information pertaining to auto-tracking and vehicle details are contained within the Engineering drawing pack prepared by *BMCE* and the Traffic and Transport Assessment which has been prepared by *Transport Insights* as part of this amendment application.

SDCC Comments: *Landscaping*

Landscaping:

Welcome the proposals for constructed tree pits. We would like to see large root zones there so you can get mature trees there quickly. We recommend that you make use of the roof space for either brown roof or blue/green roof.

SDCC Comments: *Water Services*

Manhole Design:

As a reminder, concerns were originally raised in relation to the design of the cover level on the foul sewer to the east of the scheme. Advice has previously been provided to the applicant on the depth required. This Design should be included

Contact Details:

Contact should be made with Brian Harkin in the Water Services Team to discuss this further.

Landscaping:

Constructed Tree Pits

Two linear constructed tree pits are proposed within the development. Both tree pits are strategically positioned along the perimeter of the site to facilitate adequate street tree planting and to support the establishment of healthy, long-lived trees in an urban context. The tree pits will be constructed using the Tree Parker Cell System, supplied by Green-Tech Ltd., which provides a robust below-ground soil support structure. This system ensures that each tree benefits from a generous rooting volume, allowing for proper growth, stability, and long-term health while preventing compaction from surrounding hardscape areas. The constructed tree pits will be located beneath hard landscape elements, integrated seamlessly with the overall paving design.

Please refer to Drawing No. CCP045-02-01 – Hard Landscape Plan for details of the constructed tree pits and their exact locations on site.

Green Roofs

All proposed green roof areas are clearly identified and detailed on Drawing No. CCP045-01-01 – Overall Landscape Plan. These green roofs will contribute to the development’s Sustainable Urban Drainage (SuDS) strategy, enhance biodiversity, and provide visual and ecological benefits when viewed from surrounding dwellings.

Manhole Design:

Following the 247 meeting, BMCE have been in direct contact with the water services department at SDCC in relation to this item. It was noted that there was insufficient cover to the sewer, therefore a concrete encasement detail to the sewer was proposed and agreed with the local authority team. Proposed drainage & watermain planning drawings can be found within the BMCE Engineering pack that accompanies this application.

10 | Schedules

Schedule of Accommodation - Permitted



Proj. Number:	20022A	Project:	Firhouse
Proj. Lead:	MH	Location:	Firhouse Road, Firhouse, Dublin 24
Created By:	LS	Client:	Bluemont Developments (Firhouse) Limited
Doc. Purpose:	Permitted - S247	Doc. Title:	Schedule of Accommodation
Revision:	A3-C01 (23-04-2025)	Doc. No.:	20022A-OMP-SA-ZZ-A-SA-6001

	Units	Hectares	Site Sqm	Density u/Ha	Plot Ratio	Site Coverage	Dual Aspect Apartments	
Site Zone: Site Area	78	0.49%	4630.09	169.6	0.4 : 1	44%	46%	
					1994.2		36	D/A units

Block Name: Block 01								Aspects			GIA Areas									
	1 Bed	2 Bed (3p)	2 Bed (4p)	3 Bed	Duplex (1b)	Duplex (2b3p)	Studio	Units	Dual Aspect	Dual Aspect %	Units NIA	Residential	Creche	Commercial	Cafe	Plant	ESB	Parking	Other	GIA
B2																23		1156.1	63.3	1242.4
B1					2	2		4			310.99							1104.8	214.6	1319.4
G2	2		4				2	8	4	50%	657.07	829.7		29.9	57.9				27.8	945.3
01	5	2	5					12	6	50%	774.12	923.9								923.9
02	7	1	2					10	4	40%	569.05	708.3								708.3
03	1	1	2					4	2	50%	270.47	337.9								337.9
Units	15	4	13		2	2	2	54	16	42%	2413	2799.8		29.9	57.9	23		2260.9	305.7	5477.2
Unit Mix	39%	11%	34%		5%	5%	5%													

Block Name: Block 02								Aspects			GIA Areas									
	1 Bed	2 Bed (3p)	2 Bed (4p)	3 Bed	Duplex (1b)	Duplex (2b3p)	Studio	Units	Dual Aspect	Dual Aspect %	Units NIA	Residential	Creche	Commercial	Cafe	Plant	ESB	Parking	Other	GIA
B2																			187.4	187.4
B1												207.8	131.3				16		78.5	433.6
G2			4	1				5	4	80%	429.51	516.8							158	674.8
01	5	1	6					12	5	42%	791.16	945								945
02	5	1	6					12	6	50%	782.87	940.4								940.4
03	8	1	1	1				11	5	45%	645.05	739.8								739.8
Units	18	3	17	2				40	20	50%	2648.59	3349.8	131.3				16		423.9	3921
Unit Mix	45%	8%	43%	5%																
Summary Areas	1 Bed	2 Bed (3p)	2 Bed (4p)	3 Bed	Duplex (1b)	Duplex (2b3p)	Studio	Total Units:			NIA:									GIA incl. Basement:
Totals:	33	7	30	2	2	2	2	78			5061.59									9398.2

Schedule of Accommodation - Proposed



Proj. Number:	20022B	Project:	Firhouse
Proj. Lead:	MH	Location:	Firhouse Road, Firhouse, Dublin 24
Created By:	MN	Client:	Bluemont Developments (Firhouse) Limited
Doc. Purpose:	Planning Permission	Doc. Title:	Schedule of Accommodation
Revision:	A3-C02 (5-11-2025)	Doc. No.:	20022B-OMP-SA-ZZ-A-SA-0001

	Units	Hectares	Site Sqm	Density u/Ha	Plot Ratio	Site Coverage	Dual Aspect Apartments
Site Zone: Site Area	83	0.46	4630	179.3	1.1 : 1	11%	43%
				GIA excluding Basement	4896.58	Total GIA	2014.4
							36 D/A units

Block Name: Block 01								Aspects			GIA Areas						
	1 Bed	2 Bed (3p)	2 Bed (4p)	Duplex (1b)	Duplex (2b3p)	Duplex (2b4p)	Studio	Units	Dual Aspect	Dual Aspect %	Units NIA	Residential	Plant	Other	GIA	GEA	Parking
B2								4			138.8		114.7	268.6	383.3		
B1																	
G2																	
O1																	
O2	4	1	2	2	1	1	1	8	4	50%	668.93	899		40.5	40.5	1000.3	
O3	6	2	4				12	5	42%	758.86							
	5	1	4				10	4	40%	608.33							
	1		3					4	3	75%	277.99	339.2			339.2		
Units	16	4	13	2	1	1	1	38	16	42%	2452.89	1238.2	114.7	309.1	1662	1000.3	
Unit Mix	42%	11%	34%	5%	3%	3%	3%										

Block Name: Block 02								Aspects			GIA Areas						
1 Bed		2 Bed (3p)	2 Bed (4p)	Duplex (1b)	Duplex (2b3p)	Duplex (2b4p)	Studio	Units	Dual Aspect	Dual Aspect %	Units NIA	Residential	Plant	Other	GIA	GEA	Parking
G2	6	1						7	5	71%	374.14			544.9	544.9		
O1	12		2					14	5	36%	756.77	937.2			937.2	1014.1	
O2	12		2					14	5	36%	759.86	678.3			678.3		
O3	8		2					10	5	50%	552.92	508.5			508.5		
Units	38	1	6					45	20	44%	2443.69	2124		544.9	2668.9	1014.1	
Unit Mix	84%	2%	13%														

Summary Areas	1 Bed	2 Bed (3p)	2 Bed (4p)	Duplex (1b)	Duplex (2b3p)	Duplex (2b4p)	Studio	Total Units	NIA
Totals	54	5	19	2	1	1	1	83	4896.58

HQA - Permitted

o:mahony pike

Proj. Number:	20022A	Project:	Firhouse
Proj. Lead:	MH	Location:	Firhouse Road, Firhouse, Dublin 24
Created By:	LS	Client:	Bluemont Developments (Firhouse) Limited
Doc. Purpose:	Permitted - S247	Doc. Title:	Housing Quality Assessment
Revision:	A3-C01 (23-04-2025)	Doc. No.:	20022A-OMP-HQA-ZZ-A-SA-0001

Zone	Block Name	Category	Location	Type	Type Code	Bed Rooms	Bed Spaces	Aspect	Orientation(s)	GFA (N/A)	Req. Unit GFA	SHS Unit	Agg. Net Areas	Agg. Bed Areas	Req. Bed Area	Agg. Living Areas	Req. Agg. Living Area	Agg. Store Areas	Req. Store Area	Agg. POS Areas	Req. POS Area	Main Living Width	Req. Living Width	Bed 1 Area	Bed 1 Width	Req. Bed 1 Width	Bed 2 Area	Bed 2 Width	Req. Bed 2 Width	Bed 3 Area	Bed 3 Width	Req. Bed 3 Width	Bed 4 Area	Bed 4 Width	Req. Bed 4 Width	Main Living Area	Req. Main Living Area		
Site Area	Block 01	Apartment 04	B01.B101	Duplex (2b3p)	D2A	2	3	Single Aspect	E	90.81	63	Yes	88.3	24	20.1	30.2	28	8.2	5	7	6	3.9	3.6	12.5	2.8	2.8	11.5	3.0	2.8										
Site Area	Block 01	Apartment 03	B01.B102	Duplex (1b)	D1A	1	2	Single Aspect	N	58.89	45	Yes	56.1	11.9	11.4	27	23	4.8	3	5	5	4.2	3.3	11.9	2.8	2.8													
Site Area	Block 01	Apartment 02	B01.B103	Duplex (1b)	D1A	1	2	Single Aspect	N	58.69	45	Yes	55.9	11.9	11.4	26.8	23	4.8	3	5	5	4.2	3.3	11.9	2.8	2.8													
Site Area	Block 01	Apartment 01	B01.B104	Duplex (2b3p)	D2B	2	3	Single Aspect	E	102.6	63	Yes	99.3	30.6	20.1	34.4	28	6.4	5	7	6	3.8	3.6	18.7	3.5	2.8	11.9	4.7	2.8										
Site Area	Block 01	Apartment 09	B01.G201	1 Bed	A1C	1	2	Single Aspect	W	47.91	45		46.6	12	11.4	23.3	23	3.2	3	5.2	5	4.0	3.3	11.9	3.1	2.8													
Site Area	Block 01	Apartment 08	B01.G202	2 Bed (4p)	A2A2	2	4	Single Aspect	W	77.82	73		74.4	24.5	24.4	32.3	30	6	6	7	7	3.9	3.6	11.4	2.8	2.8	13.0	2.8	2.8										
Site Area	Block 01	Apartment 07	B01.G203	2 Bed (4p)	A2F	2	4	Dual Aspect	S/W	83.9	73	Yes	80.6	24.5	24.4	32.6	30	6.8	6	7.1	7	3.6	3.6	13.0	3.3	2.8	11.5	2.9	2.8										
Site Area	Block 01	Apartment 06	B01.G204	1 Bed	A1D	1	2	Dual Aspect	N/W	48.93	45		47.2	11.4	11.4	24.2	23	3.3	3	5.1	5	3.5	3.3	11.4	3.2	2.8													
Site Area	Block 01	Apartment 05	B01.G205	2 Bed (4p)	A2C	2	4	Dual Aspect	N/E	79.86	73		76.6	25.3	24.4	30.5	30	6	6	7	7	3.9	3.6	12.3	2.8	2.8	13.0	2.9	2.8										
Site Area	Block 01	Apartment 12	B01.G206	Studio	A0A		2	Single Aspect	E	37.37	37		36.9				29.5	30	3	3	5	4	4.9	4															
Site Area	Block 01	Apartment 11	B01.G207	Studio	A0A		2	Dual Aspect	S/E	37.37	37		36.9				29.5	30	3	3	5	4	4.9	4															
Site Area	Block 01	Apartment 10	B01.G208	2 Bed (4p)	A2A1	2	4	Single Aspect	W	75.21	73		72	24.4	24.4	30.9	30	6.5	6	7	7	3.9	3.6	11.4	2.8	2.1	13.0	2.8	2.8										
Site Area	Block 01	Apartment 24	B01.0101	1 Bed	A1C	1	2	Single Aspect	W	47.91	45		46.6	12	11.4	23.3	23	3.2	3	5	5	4.0	3.3	11.9	3.1	2.8													
Site Area	Block 01	Apartment 23	B01.0102	2 Bed (4p)	A2A2	2	4	Single Aspect	W	77.82	73		74.4	24.5	24.4	32.3	30	6	6	7.1	7	3.9	3.6	11.4	2.8	2.8	13.0	2.8	2.8										
Site Area	Block 01	Apartment 22	B01.0103	2 Bed (4p)	A2F	2	4	Dual Aspect	S/W	83.9	73	Yes	80.6	24.5	24.4	32.6	30	6.8	6	7	7	3.6	3.6	13.0	3.3	2.8	11.5	2.9	2.8										
Site Area	Block 01	Apartment 21	B01.0104	1 Bed	A1D	1	2	Dual Aspect	N/W	48.93	45		47.2	11.4	11.4	24.2	23	3.3	3	5.1	5	3.5	3.3	11.4	3.2	2.8													
Site Area	Block 01	Apartment 20	B01.0105	2 Bed (4p)	A2C	2	4	Dual Aspect	N/E	79.86	73		76.6	25.3	24.4	30.5	30	6	6	7	7	3.9	3.6	12.3	2.8	2.8	13.0	2.9	2.8										
Site Area	Block 01	Apartment 19	B01.0106	1 Bed	A1B1	1	2	Dual Aspect	S/E	49.28	45	Yes	47.4	11.4	11.4	25.2	23	3	3	5	5	3.3	3.3	11.4	3.4	2.1													
Site Area	Block 01	Apartment 18	B01.0107	1 Bed	A1B4	1	2	Single Aspect	E	45.98	45		44.3	11.5	11.4	22.9	23	3	3	5	5	3.5	3.3	11.5	2.8	2.8													
Site Area	Block 01	Apartment 17	B01.0108	2 Bed (3p)	A2E	2	3	Single Aspect	E	67.25	63		64.9	20.1	20.1	29	28	5.6	5	7.7	6	4.1	3.6	13.0	3.1	2.8													
Site Area	Block 01	Apartment 16	B01.0109	2 Bed (4p)	A2A3	2	4	Single Aspect	E	74.97	73		72.2	25.9	24.4	30.7	30	6	6	7	7	3.8	3.6	12.6	2.8	2.8	13.3	2.9	2.8										
Site Area	Block 01	Apartment 15	B01.0110	2 Bed (3p)	A2B	2	3	Dual Aspect	S/E	74.24	63	Yes	71	21.8	20.1	30	28	5	5	6	6	3.6	3.6	8.8	2.1	2.1	13.0	2.8	2.8										
Site Area	Block 01	Apartment 14	B01.0111	2 Bed (4p)	A2A1	2	4	Dual Aspect	S/W	75.17	73		72.1	24.5	24.4	31	30	6.4	6	7	7	3.9	3.6	11.4	2.8	2.1	13.1	2.8	2.8										
Site Area	Block 01	Apartment 13	B01.0112	1 Bed	A1B3	1	2	Single Aspect	W	48.81	45		47.2	12.9	11.4	22.4	23	4.9	3	5.2	5	6.6	3.3	12.9	3.3	2.8													
Site Area	Block 01	Apartment 34	B01.0201	1 Bed	A1C	1	2	Single Aspect	W	47.92	45		46.6	12	11.4	23.3	23	3.2	3	5	5	4.0	3.3	11.9	3.1	2.8													
Site Area	Block 01	Apartment 33	B01.0202	1 Bed	A1B3	1	2	Single Aspect	W	48.34	45		46.8	12.9	11.4	23.5	23	3.4	3	5.2	5	6.6	3.3	12.9	3.3	2.8													
Site Area	Block 01	Apartment 32	B01.0203	1 Bed	A1A1	1	2	Dual Aspect	N/W	52.75	45	Yes	51.1	12.2	11.4	24.2	23	3.5	3	5	5	4.0	3.3	12.2	3.5	2.8													
Site Area	Block 01	Apartment 31	B01.0204	2 Bed (4p)	A2A4	2	4	Dual Aspect	N/E	74.99	73		71	24.4	24.4	30	30	6	6	7	7	4.4	3.6	11.4	3.1	2.1	13.0	2.8	2.8										
Site Area	Block 01	Apartment 30	B01.0205	1 Bed	A1A	1	2	Single Aspect	E	49.47	45	Yes	47.8	12.9	11.4	23.4	23	3.2	3	5	5	3.4	3.3	12.9	3.0	2.8													
Site Area	Block 01	Apartment 29	B01.0206	1 Bed	A1A	1	2	Single Aspect	E	49.47	45	Yes	47.8	12.9	11.4	23.4	23	3.2	3	5	5	3.3	3.3	12.9	3.0	2.8													
Site Area	Block 01	Apartment 28	B01.0207	1 Bed	A1A	1	2	Single Aspect	E	49.47	45	Yes	47.8	12.9	11.4	23.4	23	3.2	3	5	5	3.4	3.3	12.9	3.0	2.8													
Site Area	Block 01	Apartment 27	B01.0208	2 Bed (3p)	A2B	2	3	Dual Aspect	S/E	74.24	63	Yes	71	21.8	20.1	30	28	5	5	7	6	3.6	3.6	8.8	2.1	2.1	13.0	2.8	2.8										
Site Area	Block 01	Apartment 26	B01.0209	2 Bed (4p)	A2A1	2	4	Dual Aspect	S/W	75.17	73		72.1	24.5	24.4	31	30	6.4	6	7	7	3.9	3.6	11.4	2.8	2.1	13.1	2.8	2.8										
Site Area	Block 01	Apartment 25	B01.0210	1 Bed	A1B3	1	2	Single Aspect	W	47.23	45		45.6	12.9	11.4	22.4	23	3.3	3	5.2	5	6.6	3.3	12.9	3.3	2.8													
Site Area	Block 01	Apartment 38	B01.0303	2 Bed (4p)	A2A1	2	4	Dual Aspect	S/W	74.66	73		71.6	24.5	24.4	30.5	30	6.4	6	7	7	3.9	3.6	11.4	2.8	2.1	13.1	2.8	2.8										
Site Area	Block 01	Apartment 37	B01.0301	2 Bed (4p)	A2A1	2	4	Single Aspect	E	74.97	73		71.9	24.4	24.4	30.9	30	6.4	6	9.2	7	3.9	3.6	11.4	2.8	2.1	13.0	2.8	2.8										
Site Area	Block 01	Apartment 36	B01.0302	2 Bed (3p)	A2B	2	3	Dual Aspect	S/E	73.61	63	Yes	70.4	21.4	20.1	29.8	28	5	5	7	6	3.6	3.6	8.6	2.1	2.1	12.8	2.7	2.8										
Site Area	Block 01	Apartment 35	B01.0304	1 Bed	A1B3	1	2	Single Aspect	W	47.23	45		45.6	12.9	11.4	22.4	23	3.3	3	5.2	5	6.6	3.3	12.9	3.3	2.8													
Site Area	Block 02	Apartment 01	B02.G201	2 Bed (4p)	A2N	2	4	Dual Aspect	E/W	85.9	73	Yes	83	26	24.4	39.8	30	6	6	7	7	4.7	3.6	13.0	3.2	2.8	13.0	3.1	2.8										
Site Area	Block 02	Apartment 02	B02.G202	2 Bed (4p)	A2A1	2	4	Dual Aspect	S/W	74.97	73		71.9	24.4	24.4	30.9	30	6.4	6	7	7	3.9	3.6	11.4	2.8	2.1	13.0	2.8	2.8										
Site Area	Block 02	Apartment 03	B02.G203	2 Bed (4p)	A2A1	2	4	Single Aspect	W	74.97	73		71.9	24.4	24.4	30.9	30	6.4	6	7	7	3.9	3.6	11.4	2.8	2.1	13.0	2.8	2.8										
Site Area	Block 02	Apartment 04	B02.G204	3 Bed	A3A1	3	5	Dual Aspect	N/W	116.1	90	Yes	111.6	36.4	31.5	42.5	34	10.5	9	9.1	9	5.8	3.8	14.9	2.9	2.8	12.4	2.8	2.8		9.1	2.1	2.1						
Site Area	Block 02	Apartment 05	B02.G205	2 Bed (4p)	A2A6	2	4	Dual Aspect	N/E	77.57	73		73	24.9	24.4	30.1	30	8.6	6	7.1	7	4.0	3.6	13.0	2.8	2.8	11.9	2.8	2.8										
Site Area	Block 02	Apartment 06	B02.0101	1 Bed	A1B2	1	2	Single Aspect	E	45.86	45		44.4	11.4	11.4	23	23	3	3	5.2	5	3.3	3.3	11.4	3.2	2.1													
Site Area	Block 02	Apartment 07	B02.0102	2 Bed (3p)	A2L	2	3	Dual Aspect+	NE/SE/E	75.38	63	Yes	72.8	20.4	20.1	36	2																						

HQA - Proposed



Proj. Number: 20022B

Proj. Lead: MH

Created By: LD

Doc. Purpose: Planning Permission

Revision: A3-C02 (5-11-2025)

Project: Firhouse

Location: Firhouse Road, Firhouse, Dublin 24

Client: Bluemont Developments (Firhouse) Limited

Doc. Title: Housing Quality Assessment

Doc. No.: 20022B-OMP-HQA-ZZ-A-SA-0001

Zone	Block Name	Category	Location	Type	Type Code	Bed Rooms	Bed Spaces	Aspect	Orientation(s)	GFA (N/A)	Req. Unit GFA	SHS Unit	Agg. Net Areas	Agg. Bed Areas	Req. Bed Area	Agg. Living Areas	Req. Agg. Living Area	Agg. Store Areas	Req. Store Area	Agg. POS Areas	Req. POS Area	Main Living Width	Req. Living Width	Bed 1 Area	Bed 1 Width	Req. Bed 1 Width	Bed 2 Area	Bed 2 Width	Req. Bed 2 Width
Site Area	Block 01	Apartment	B01.B101	Duplex (2b4p)	D2A	2	4	Single Aspect	E	103.51	73	Yes		26.8	24.4	32	30	10.8	6	12.1	7	4.3	3.6	13.8	3.0	2.8	13.0	3.1	2.8
Site Area	Block 01	Apartment	B01.B102	Duplex (1b)	D1A	1	2	Single Aspect	E	62.44	45	Yes		14.6	11.4	26.8	23	3	3	6.7	5	4.8	3.3	14.6	3.5	2.8			
Site Area	Block 01	Apartment	B01.B103	Duplex (1b)	D1A	1	2	Single Aspect	E	62.48	45	Yes		14.6	11.4	26.8	23	3.7	3	6.7	5	4.8	3.3	14.6	3.5	2.8			
Site Area	Block 01	Apartment	B01.B104	Duplex (2b3p)	D2A1	2	3	Single Aspect	E	88.75	63	Yes	6.5	22.4	20.1	28.5	28	6.6	5	6.5	6	5.1	3.6	13.2	3.6	2.8	9.2	2.6	2.1
Site Area	Block 01	Apartment	B01.G201	2 Bed (3p)	A2H	2	3	Single Aspect	W	63.08	63			19.4	20.1	27.6	28	5.8	5	6.5	6	4.1	3.6	12.2	2.8	2.8	7.2	2.1	2.1
Site Area	Block 01	Apartment	B01.G202	1 Bed	A1G	1	2	Dual Aspect	S/W	55.51	45	Yes		13.2	11.4	27.5	23	3.3	3	5.9	5	3.6	3.3	13.2	2.8	2.8			
Site Area	Block 01	Apartment	B01.G203	1 Bed	A1A1	1	2	Single Aspect	W	50.14	45	Yes		11.8	11.4	28.7	23	3.1	3	5.8	5	3.3	3.3	11.8	3.0	2.8			
Site Area	Block 01	Apartment	B01.G204	1 Bed	A1E	1	2	Dual Aspect	N/W	53.56	45	Yes		12.4	11.4	28.9	23	3.6	3	6	5	3.3	3.3	12.4	3.1	2.8			
Site Area	Block 01	Apartment	B01.G205	2 Bed (4p)	A2M2	2	4	Dual Aspect	N/E	89.81	73	Yes		27.9	24.4	41.3	30	6.2	6	10.4	7	5.1	3.6	14.0	3.1	2.8	13.9	3.2	2.8
Site Area	Block 01	Apartment	B01.G206	2 Bed (4p)	A2N	2	4	Single Aspect	E	74.04	73			25.5	24.4	32.7	30	6.7	6	7	7	3.9	3.6	11.4	2.9	2.1	14.1	2.8	2.8
Site Area	Block 01	Apartment	B01.G207	1 Bed	A1H	1	2	Dual Aspect	E/W	65.28	45	Yes	5.5	15.7	11.4	33	23	4.2	3	5.5	5	4.7	3.3	15.7	3.1	2.8			
Site Area	Block 01	Apartment	B01.G208	Studio	A0A	2	2	Single Aspect	W	39.11	37		4.6			30.4	30	3.2	3	4.6	4	4.3	4						
Site Area	Block 01	Apartment	B01.0101	2 Bed (3p)	A2H	2	3	Single Aspect	W	63.7	63			19.6	20.1	27.8	28	6	5	8	6	4.1	3.6	12.2	2.8	2.8	7.4	2.2	2.1
Site Area	Block 01	Apartment	B01.0102	1 Bed	A1A1	1	2	Single Aspect	W	50.39	45	Yes		11.8	11.4	28.9	23	3.1	3	5.1	5	3.3	3.3	11.8	3.0	2.8			
Site Area	Block 01	Apartment	B01.0103	1 Bed	A1G	1	2	Dual Aspect	S/W	55.51	45	Yes		13.2	11.4	27.5	23	3.3	3	5.9	5	3.7	3.3	13.2	2.8	2.8			
Site Area	Block 01	Apartment	B01.0104	1 Bed	A1F	1	2	Dual Aspect	N/E	59.85	45	Yes		11.7	11.4	26	23	4.6	3	7.3	5	7.1	3.3	11.7	3.5	2.8			
Site Area	Block 01	Apartment	B01.0105	1 Bed	A1E	1	2	Dual Aspect	N/W	54.08	45	Yes		12.4	11.4	29.6	23	3.6	3	7.1	5	3.3	3.3	12.4	3.1	2.8			
Site Area	Block 01	Apartment	B01.0106	1 Bed	A1T	1	2	Single Aspect	E	50.52	45	Yes		12.8	11.4	28.5	23	3.5	3	14.2	5	3.3	3.3	12.8	3.0	2.8			
Site Area	Block 01	Apartment	B01.0107	2 Bed (3p)	A2M	2	3	Single Aspect	E	75.44	63	Yes		21.4	20.1	41.6	28	5.9	5	6.7	6	4.5	3.6	12.9	2.9	2.8	8.5	4.0	2.1
Site Area	Block 01	Apartment	B01.0108	2 Bed (4p)	A2I	2	4	Single Aspect	E	79.74	73			25.5	24.4	34.5	30	8	6	8.1	7	5.3	3.6	12.1	3.3	2.8	13.4	2.8	2.8
Site Area	Block 01	Apartment	B01.0109	2 Bed (4p)	A2N	2	4	Single Aspect	E	74.31	73			25.5	24.4	31.9	30	6.2	6	8	7	4.0	3.6	11.5	2.8	2.8	14.0	2.8	2.8
Site Area	Block 01	Apartment	B01.0110	2 Bed (4p)	A2P	2	4	Dual Aspect	S/E	75.28	73			24.7	24.4	32.1	30	6.2	6	7.6	7	4.8	3.6	11.9	2.9	2.8	12.8	3.1	2.8
Site Area	Block 01	Apartment	B01.0111	2 Bed (4p)	A2Q	2	4	Dual Aspect	S/W	73.9	73			25.1	24.4	31.6	30	6	6	7.6	7	4.5	3.6	11.8	2.8	2.8	13.3	3.1	2.8
Site Area	Block 01	Apartment	B01.0112	1 Bed	A1B1	1	2	Single Aspect	W	46.14	45			11.8	11.4	24.3	23	3.7	3	5.8	5	3.4	3.3	11.8	2.9	2.8			
Site Area	Block 01	Apartment	B01.0201	2 Bed (3p)	A2H	2	3	Single Aspect	W	63.97	63			19.4	20.1	28.4	28	5.9	5	9.1	6	4.1	3.6	12.2	2.8	2.8	7.2	2.1	2.1
Site Area	Block 01	Apartment	B01.0202	1 Bed	A1A1	1	2	Single Aspect	W	50.75	45	Yes		11.8	11.4	29.3	23	3.1	3	5	5	3.3	3.3	11.8	3.0	2.8			
Site Area	Block 01	Apartment	B01.0203	1 Bed	A1P	1	2	Dual Aspect	N/W	48.98	45			11.4	11.4	24.1	23	4.1	3	12.6	5	3.9	3.3	11.4	3.3	2.8			
Site Area	Block 01	Apartment	B01.0204	1 Bed	A1N	1	2	Dual Aspect	N/E	46.74	45		6.2	11.3	11.4	22.4	23	3.3	3	6.2	5	3.3	3.3	11.3	2.7	2.1			
Site Area	Block 01	Apartment	B01.0205	1 Bed	A1Q	1	2	Single Aspect	E	46.51	45			11.7	11.4	26.1	23	3.2	3	9.5	5	3.4	3.3	11.7	3.2	2.8			
Site Area	Block 01	Apartment	B01.0206	2 Bed (4p)	A2N	2	4	Single Aspect	E	75.02	73			25.5	24.4	32.6	30	6.2	6	9.1	7	4.0	3.6	11.5	2.8	2.8	14.0	2.8	2.8
Site Area	Block 01	Apartment	B01.0207	2 Bed (4p)	A2I	2	4	Single Aspect	E	79.73	73			25.5	24.4	34.5	30	8	6	9.5	7	5.3	3.6	12.1	3.3	2.8	13.4	2.8	2.8
Site Area	Block 01	Apartment	B01.0208	2 Bed (4p)	A2P	2	4	Dual Aspect	S/E	75.98	73			24.7	24.4	32.8	30	6.2	6	8.2	7	4.8	3.6	11.9	2.9	2.8	12.8	3.1	2.8
Site Area	Block 01	Apartment	B01.0209	2 Bed (4p)	A2Q	2	4	Dual Aspect	S/W	74.59	73			25.1	24.4	32.3	30	6	6	9.1	7	4.5	3.6	11.8	2.8	2.8	13.3	3.1	2.8
Site Area	Block 01	Apartment	B01.0210	1 Bed	A1B1	1	2	Single Aspect	W	46.06	45			11.9	11.4	24	23	3.7	3	8.7	5	3.4	3.3	11.9	3.1	2.8			
Site Area	Block 01	Apartment	B01.0301	2 Bed (4p)	A2A1	2	4	Dual Aspect	N/E	84.47	73	Yes	9.4	24.4	24.4	42.3	30	7	6	9.4	7	5.3	3.6	12.4	2.9	2.8	12.0	2.8	2.8
Site Area	Block 01	Apartment	B01.0302	2 Bed (4p)	A2P	2	4	Dual Aspect	S/E	74.59	73			24.7	24.4	31.4	30	6.2	6	7.1	7	4.8	3.6	11.9	2.9	2.8	12.8	3.1	2.8
Site Area	Block 01	Apartment	B01.0303	2 Bed (4p)	A2Q	2	4	Dual Aspect	S/W	73.19	73			25.1	24.4	30.9	30	6	6	8	7	5.7	3.6	11.8	2.8	2.8	13.3	3.1	2.8
Site Area	Block 01	Apartment	B01.0304	1 Bed	A1B1	1	2	Single Aspect	W	45.74	45			11.8	11.4	23.9	23	3.7	3	6.4	5	3.4	3.3	11.8	2.9	2.8			
Site Area	Block 02	Apartment	B02.G201	2 Bed (3p)	A2G	2	3	Dual Aspect	E/W	66.06	63			23	20.1	29.6	28	5.5	5	7.5	6	4.5	3.6	12.6	3.7	2.8	10.4	2.1	2.1
Site Area	Block 02	Apartment	B02.G202	1 Bed	A1B	1	2	Single Aspect	W	49.54	45	Yes		12.1	11.4	27.8	23	3	3	6	5	3.3	3.3	12.1	3.0	2.8			
Site Area	Block 02	Apartment	B02.G203	1 Bed	A1A	1	2	Dual Aspect	S/W	50.68	45	Yes		11.6	11.4	29	23	3.6	3	6	5	3.3	3.3	11.6	2.9	2.8			
Site Area	Block 02	Apartment	B02.G204	1 Bed	A1R	1	2	Single Aspect	W	48.14	45			15	11.4	22.9	23	3.6	3	8	5	3.9	3.3	15.0	2.9	2.8			
Site Area	Block 02	Apartment	B02.G205	1 Bed	A1B2	1	2	Dual Aspect	N/W	50.44	45	Yes		11.5	11.4	26.2	23	3.1	3	8	5	3.3	3.3	11.5	3.0	2.8			
Site Area	Block 02	Apartment	B02.G206	1 Bed	A1S	1	2	Dual Aspect	N/E	46.94	45			12.3	11.4	24.5	23	3.7	3	5	5	3.3	3.3	12.3	2.8	2.8			
Site Area	Block 02	Apartment	B02.G207	1 Bed	A1J	1	2	Dual Aspect	N/E	62.34	45	Yes		16	11.4	35.1	23	5.3	3	5.6	5	4.5	3.3	16.0	3.6	2.8			

HQA - Permitted - Continued

Zone	Block Name	Category	Location	Type	Type Code	Bed Rooms	Bed Spaces	Aspect	Orientation(s)	GFA (N/A)	Req. Unit GFA	SHS Unit	Agg. Net Areas	Agg. Bed Areas	Req. Bed Area	Agg. Living Areas	Req. Agg. Living Area	Agg. Store Areas	Req. Store Area	Agg. POS Areas	Req. POS Area	Main Living Width	Req. Living Width	Bed 1 Area	Bed 1 Width	Req. Bed 1 Width	Bed 2 Area	Bed 2 Width	Req. Bed 2 Width	Bed 3 Area	Bed 3 Width	Req. Bed 3 Width	Bed 4 Area	Bed 4 Width	Req. Bed 4 Width	Main Living Area	Req. Main Living Area			
Site Area	Block 02	Apartment 08	B02.0103	2 Bed (4p)	A2A1	2	4	Single Aspect	SE	76.25	73		73.2	25.2	24.4	31.4	30	6.4	6	7	7	3.9	3.6	11.8	2.8	2.8	13.4	2.8	2.8											
Site Area	Block 02	Apartment 09	B02.0104	1 Bed	A1E	1	2	Single Aspect	SE	48.73	45		47.1	13.1	11.4	23	23	3.3	3	5	5	3.6	3.3	13.1	3.6	2.8														
Site Area	Block 02	Apartment 10	B02.0105	2 Bed (4p)	A2G	2	4	Dual Aspect+	SE/SW/W	78.22	73		75.2	24.5	24.4	30.6	30	8.2	6	7	7	4.9	3.6	11.5	3.2	2.8	13.0	2.8	2.8											
Site Area	Block 02	Apartment 11	B02.0106	2 Bed (4p)	A2J	2	4	Dual Aspect	SW/W	78.07	73		75	27.7	24.4	29.2	30	9	6	7	7	3.6	3.6	14.0	3.7	2.8	13.7	2.8	2.8											
Site Area	Block 02	Apartment 12	B02.0107	1 Bed	A1A	1	2	Single Aspect	W	49.47	45	Yes	47.8	12.9	11.4	23.4	23	3.2	3	5	5	3.4	3.3	12.9	3.0	2.8														
Site Area	Block 02	Apartment 13	B02.0108	1 Bed	A1A	1	2	Single Aspect	W	49.47	45	Yes	47.8	12.9	11.4	23.4	23	3.2	3	5	5	3.4	3.3	12.9	3.0	2.8														
Site Area	Block 02	Apartment 14	B02.0109	1 Bed	A1A	1	2	Single Aspect	W	49.47	45	Yes	47.8	12.9	11.4	23.4	23	3.2	3	5	5	3.4	3.3	12.9	3.0	2.8														
Site Area	Block 02	Apartment 15	B02.0110	2 Bed (4p)	A2A1	2	4	Single Aspect	W	74.98	73		71.9	24.4	24.4	30.9	30	6.4	6	7	7	3.9	3.6	11.4	2.8	2.1	13.0	2.8	2.8											
Site Area	Block 02	Apartment 16	B02.0111	2 Bed (4p)	A2D1	2	4	Dual Aspect+	N/E/W	90.11	73	Yes	87	25.9	24.4	35	30	8.1	6	7	7	11.0	3.6	12.3	2.8	2.8	13.6	2.8	2.8											
Site Area	Block 02	Apartment 17	B02.0112	2 Bed (4p)	A2A5	2	4	Dual Aspect	N/E	75.15	73		72.1	25.1	24.4	30	30	6.1	6	7.1	7	4.0	3.6	13.6	2.8	2.8	11.5	2.8	2.8											
Site Area	Block 02	Apartment 18	B02.0201	1 Bed	A1B2	1	2	Single Aspect	E	45.86	45		44.4	11.4	11.4	23	23	3	3	5.2	5	3.3	3.3	11.4	3.2	2.1														
Site Area	Block 02	Apartment 19	B02.0202	2 Bed (3p)	A2L	2	3	Dual Aspect+	NE/SE/E	75.38	63	Yes	72.8	20.4	20.1	36	28	6.4	5	7	6	3.6	3.6	13.0	2.9	2.8	7.4	2.1	2.1											
Site Area	Block 02	Apartment 20	B02.0203	2 Bed (4p)	A2A1	2	4	Single Aspect	SE	76.25	73		73.2	25.2	24.4	31.4	30	6.4	6	7	7	3.9	3.6	11.8	2.8	2.8	13.4	2.8	2.8											
Site Area	Block 02	Apartment 21	B02.0204	1 Bed	A1E	1	2	Single Aspect	SE	48.5	45		46.8	13.1	11.4	23	23	3.1	3	5	5	3.6	3.3	13.1	3.6	2.8														
Site Area	Block 02	Apartment 22	B02.0205	2 Bed (4p)	A2G	2	4	Dual Aspect+	SE/SW/W	78.22	73		75.2	24.5	24.4	30.6	30	8.2	6	7	7	4.9	3.6	11.5	3.1	2.8	13.0	2.8	2.8											
Site Area	Block 02	Apartment 23	B02.0206	2 Bed (4p)	A2J	2	4	Dual Aspect	SW/W	78.07	73		75	27.7	24.4	29.2	30	9	6	7	7	3.6	3.6	14.0	3.7	2.8	13.7	2.8	2.8											
Site Area	Block 02	Apartment 24	B02.0207	1 Bed	A1A	1	2	Single Aspect	W	49.47	45	Yes	47.8	12.9	11.4	23.4	23	3.2	3	5	5	3.4	3.3	12.9	3.0	2.8														
Site Area	Block 02	Apartment 25	B02.0208	1 Bed	A1A	1	2	Single Aspect	W	49.47	45	Yes	47.8	12.9	11.4	23.4	23	3.2	3	5	5	3.4	3.3	12.9	3.0	2.8														
Site Area	Block 02	Apartment 26	B02.0209	1 Bed	A1A	1	2	Single Aspect	W	49.47	45	Yes	47.8	12.9	11.4	23.4	23	3.2	3	5	5	3.4	3.3	12.9	3.0	2.8														
Site Area	Block 02	Apartment 27	B02.0210	2 Bed (4p)	A2A1	2	4	Dual Aspect	N/W	74.98	73		71.9	24.4	24.4	30.9	30	6.4	6	7	7	3.9	3.6	11.4	2.8	2.1	13.0	2.8	2.8											
Site Area	Block 02	Apartment 28	B02.0211	2 Bed (4p)	A2D2	2	4	Dual Aspect+	N/E/W	82.05	73	Yes	79.1	25.7	24.4	30.1	30	6	6	7	7	9.0	3.6	13.2	2.8	2.8	12.4	2.8	2.8											
Site Area	Block 02	Apartment 29	B02.0212	2 Bed (4p)	A2A5	2	4	Dual Aspect	N/E	75.15	73		72.1	25.1	24.4	30	30	6.1	6	7.1	7	4.0	3.6	13.6	2.8	2.8	11.5	2.8	2.8											
Site Area	Block 02	Apartment 30	B02.0301	1 Bed	A1B2	1	2	Single Aspect	E	45.64	45		44.2	11.2	11.4	23	23	3	3	5.2	5	3.3	3.3	11.2	3.2	2.1														
Site Area	Block 02	Apartment 31	B02.0302	1 Bed	A1B5	1	2	Single Aspect	E	45.85	45		44.5	11.4	11.4	23	23	3.5	3	5.2	5	6.7	3.3	11.4	3.1	2.1														
Site Area	Block 02	Apartment 32	B02.0303	1 Bed	A1F	1	2	Dual Aspect	SE/E	49.57	45	Yes	48	13.5	11.4	25	23	3	3	5	5	4.6	3.3	13.5	2.8	2.8														
Site Area	Block 02	Apartment 33	B02.0304	2 Bed (3p)	A2K	2	3	Dual Aspect	SE/W	74.47	63	Yes	71.8	23.4	20.1	29.2	28	5	5	6	6	3.6	3.6	14.9	2.8	2.8	8.4	2.8	2.1											
Site Area	Block 02	Apartment 34	B02.0305	1 Bed	A1A	1	2	Single Aspect	W	49.47	45	Yes	47.8	12.9	11.4	23.4	23	3.2	3	5	5	3.4	3.3	12.9	3.0	2.8														
Site Area	Block 02	Apartment 35	B02.0306	1 Bed	A1A	1	2	Single Aspect	W	49.47	45	Yes	47.8	12.9	11.4	23.4	23	3.2	3	5	5	3.4	3.3	12.9	3.0	2.8														
Site Area	Block 02	Apartment 36	B02.0307	1 Bed	A1A	1	2	Single Aspect	W	49.47	45	Yes	47.8	12.9	11.4	23.4	23	3.2	3	5	5	3.4	3.3	12.9	3.0	2.8														
Site Area	Block 02	Apartment 37	B02.0308	1 Bed	A1A	1	2	Single Aspect	W	49.47	45	Yes	47.8	12.9	11.4	23.4	23	3.2	3	5	5	3.4	3.3	12.9	3.0	2.8														
Site Area	Block 01	Apartment 04	B01.B101	Duplex (2b3p)	D2A	2	3	Single Aspect	E	90.81	63	Yes	88.3	24	20.1	30.2	28	8.2	5	7	6	3.9	3.6	12.5	2.8	2.8	11.5	3.0	2.8											
Site Area	Block 02	Apartment 38	B02.0309	1 Bed	A1A	1	2	Dual Aspect	N/W	49.45	45	Yes	47.8	12.9	11.4	23.4	23	3.2	3	5	5	3.3	3.3	12.9	3.0	2.8														
Site Area	Block 02	Apartment 39	B02.0310	3 Bed	A3A2	3	5	Dual Aspect+	N/E/W	107.04	90	Yes	102.6	35.9	31.5	36.4	34	9.9	9	9.1	9	3.9	3.8	14.2	2.8	2.8	12.5	2.8	2.8	9.2	2.1	2.1								
Site Area	Block 02	Apartment 40	B02.0311	2 Bed (4p)	A2A1	2	4	Dual Aspect	N/E	75.15	73		72.1	24.4	24.4	30.9	30	6.4	6	7.1	7	3.9	3.6	11.4	2.8	2.1	13.0	2.8	2.8											

HQA - Proposed - Continued

Zone	Block Name	Category	Location	Type	Type Code	Bed Rooms	Bed Spaces	Aspect	Orientation(s)	GFA (N/A)	Req. Unit GFA	SHS Unit	Agg. Net Areas	Agg. Bed Areas	Req. Bed Area	Agg. Living Areas	Req. Aggr. Living Area	Agg. Store Areas	Req. Store Area	Agg. POS Areas	Req. POS Area	Main Living Width	Req. Living Width	Bed 1 Area	Bed 1 Width	Req. Bed 1 Width	Bed 2 Area	Bed 2 Width	Req. Bed 2 Width
Site Area	Block 02	Apartment	B02.0101	1 Bed	A1D	1	2	Single Aspect	E	47.24	45			14.5	11.4	23	23	3.9	3	8.2	5	3.6	3.3	14.5	3.5	2.8			
Site Area	Block 02	Apartment	B02.0102	1 Bed	A1K	1	2	Dual Aspect+	NE/SE/E	60.07	45	Yes		15	11.4	30.4	23	4.2	3	6	5	3.3	3.3	15.0	2.8	2.8			
Site Area	Block 02	Apartment	B02.0103	1 Bed	A1L	1	2	Single Aspect	SE	51.9	45	Yes		12.8	11.4	22.8	23	4.8	3	5.5	5	3.3	3.3	12.8	2.8	2.8			
Site Area	Block 02	Apartment	B02.0104	1 Bed	A1M	1	2	Single Aspect	SE	46.11	45			11.6	11.4	26	23	3	3	6.1	5	3.7	3.3	11.6	3.0	2.8			
Site Area	Block 02	Apartment	B02.0105	2 Bed (4p)	A2S	2	4	Dual Aspect+	SE/SW/W	81	73	Yes		26.2	24.4	33.7	30	7.6	6	8	7	5.6	3.6	14.6	2.8	2.8	11.6	2.8	2.8
Site Area	Block 02	Apartment	B02.0106	1 Bed	A1C	1	2	Single Aspect	W	51.72	45	Yes		11.4	11.4	31.2	23	3	3	6.4	5	3.3	3.3	11.4	2.5	2.1			
Site Area	Block 02	Apartment	B02.0107	1 Bed	A1A	1	2	Single Aspect	W	49.99	45	Yes		11.7	11.4	28.6	23	3.1	3	6	5	3.3	3.3	11.7	3.0	2.8			
Site Area	Block 02	Apartment	B02.0108	1 Bed	A1A	1	2	Single Aspect	W	49.97	45	Yes		11.7	11.4	28.6	23	3.1	3	6	5	3.3	3.3	11.7	3.0	2.8			
Site Area	Block 02	Apartment	B02.0109	1 Bed	A1B	1	2	Single Aspect	W	49.85	45	Yes		12.1	11.4	28.1	23	3	3	6	5	3.3	3.3	12.1	3.0	2.8			
Site Area	Block 02	Apartment	B02.0110	1 Bed	A1A	1	2	Single Aspect	W	49.99	45	Yes		11.7	11.4	28.6	23	3.1	3	6	5	3.3	3.3	11.7	3.0	2.8			
Site Area	Block 02	Apartment	B02.0111	1 Bed	A1R	1	2	Single Aspect	W	47.6	45			14.7	11.4	22.9	23	3.4	3	7.8	5	3.9	3.3	14.7	2.8	2.8			
Site Area	Block 02	Apartment	B02.0112	1 Bed	A1B2	1	2	Dual Aspect	N/W	49.69	45	Yes		11.3	11.4	26	23	3.1	3	8	5	3.3	3.3	11.3	3.0	2.1			
Site Area	Block 02	Apartment	B02.0113	1 Bed	A1S	1	2	Dual Aspect	N/E	47.09	45			12.2	11.4	24.5	23	3.7	3	13	5	3.3	3.3	12.2	2.8	2.8			
Site Area	Block 02	Apartment	B02.0114	2 Bed (4p)	A2A	2	4	Dual Aspect	N/E	74.55	73			24.5	24.4	31.2	30	7.7	6	7	7	4.3	3.6	13.0	3.0	2.8	11.5	2.8	2.8
Site Area	Block 02	Apartment	B02.0201	1 Bed	A1D	1	2	Single Aspect	E	49.67	45	Yes		17	11.4	23	23	3.9	3	10.2	5	3.6	3.3	17.0	3.5	2.8			
Site Area	Block 02	Apartment	B02.0202	1 Bed	A1K	1	2	Dual Aspect+	NE/SE/E	60.21	45	Yes		15	11.4	30.4	23	4.2	3	6	5	3.3	3.3	15.0	2.8	2.8			
Site Area	Block 02	Apartment	B02.0203	1 Bed	A1L	1	2	Single Aspect	SE	52.19	45	Yes		12.8	11.4	22.9	23	4.9	3	5.5	5	3.3	3.3	12.8	2.8	2.8			
Site Area	Block 02	Apartment	B02.0204	1 Bed	A1M	1	2	Single Aspect	SE	46.13	45			11.6	11.4	26	23	3	3	6.2	5	3.7	3.3	11.6	3.0	2.8			
Site Area	Block 02	Apartment	B02.0205	2 Bed (4p)	A2S	2	4	Dual Aspect+	SE/SW/W	79.81	73			26.2	24.4	32.3	30	7.7	6	8	7	5.6	3.6	14.6	2.8	2.8	11.6	2.8	2.8
Site Area	Block 02	Apartment	B02.0206	1 Bed	A1C	1	2	Single Aspect	W	51.75	45	Yes		11.4	11.4	31.3	23	3.1	3	6.4	5	3.3	3.3	11.4	2.5	2.1			
Site Area	Block 02	Apartment	B02.0207	1 Bed	A1A	1	2	Single Aspect	W	49.72	45	Yes		11.7	11.4	28.3	23	3.1	3	6	5	3.3	3.3	11.7	3.0	2.8			
Site Area	Block 02	Apartment	B02.0208	1 Bed	A1A	1	2	Single Aspect	W	49.97	45	Yes		11.7	11.4	28.6	23	3.1	3	5.1	5	3.3	3.3	11.7	3.0	2.8			
Site Area	Block 02	Apartment	B02.0209	1 Bed	A1A	1	2	Single Aspect	W	49.99	45	Yes		11.7	11.4	28.6	23	3.1	3	6	5	3.3	3.3	11.7	3.0	2.8			
Site Area	Block 02	Apartment	B02.0210	1 Bed	A1B	1	2	Single Aspect	W	49.84	45	Yes		12.1	11.4	28.1	23	3	3	6	5	3.3	3.3	12.1	3.0	2.8			
Site Area	Block 02	Apartment	B02.0211	1 Bed	A1R	1	2	Single Aspect	W	48.52	45			15	11.4	23	23	3.8	3	8	5	3.9	3.3	15.0	2.9	2.8			
Site Area	Block 02	Apartment	B02.0212	1 Bed	A1B2	1	2	Dual Aspect	N/W	50.44	45	Yes		11.5	11.4	26.2	23	3.1	3	8	5	3.3	3.3	11.5	3.0	2.8			
Site Area	Block 02	Apartment	B02.0213	1 Bed	A1S	1	2	Dual Aspect	N/E	46.83	45			12.2	11.4	24.5	23	3.7	3	13	5	3.3	3.3	12.2	2.8	2.8			
Site Area	Block 02	Apartment	B02.0214	2 Bed (4p)	A2A	2	4	Dual Aspect	N/E	74.79	73			24.5	24.4	31.5	30	7.7	6	7	7	4.3	3.6	13.0	3.0	2.8	11.5	2.8	2.8
Site Area	Block 02	Apartment	B02.0301	1 Bed	A1D	1	2	Single Aspect	E	45.47	45			12.7	11.4	23.2	23	3.8	3	8.2	5	3.7	3.3	12.7	3.5	2.8			
Site Area	Block 02	Apartment	B02.0302	2 Bed (4p)	A2E	2	4	Dual Aspect	S/E	87.26	73	Yes		26.1	24.4	30.1	30	11.6	6	7.5	7	3.9	3.6	14.1	4.5	2.8	12.0	2.8	2.8
Site Area	Block 02	Apartment	B02.0303	1 Bed	A1A	1	2	Dual Aspect	S/W	49.3	45	Yes		11.7	11.4	27.9	23	3.1	3	7.1	5	3.3	3.3	11.7	3.0	2.8			
Site Area	Block 02	Apartment	B02.0304	1 Bed	A1A	1	2	Single Aspect	W	49.97	45	Yes		11.7	11.4	28.6	23	3.1	3	6	5	3.3	3.3	11.7	3.0	2.8			
Site Area	Block 02	Apartment	B02.0305	1 Bed	A1A	1	2	Single Aspect	W	49.87	45	Yes		11.7	11.4	28.6	23	3.1	3	6	5	3.3	3.3	11.7	3.0	2.8			
Site Area	Block 02	Apartment	B02.0306	1 Bed	A1B	1	2	Single Aspect	W	49.84	45	Yes		12.1	11.4	28.1	23	3	3	6	5	3.3	3.3	12.1	3.0	2.8			
Site Area	Block 02	Apartment	B02.0307	1 Bed	A1R	1	2	Single Aspect	W	48.52	45			15	11.4	23	23	3.8	3	8	5	3.9	3.3	15.0	2.9	2.8			
Site Area	Block 02	Apartment	B02.0308	1 Bed	A1B2	1	2	Dual Aspect	N/W	50.44	45	Yes		11.5	11.4	26.2	23	3.1	3	8	5	3.3	3.3	11.5	3.0	2.8			
Site Area	Block 02	Apartment	B02.0309	1 Bed	A1S	1	2	Dual Aspect	N/E	46.83	45			12.2	11.4	24.5	23	3.7	3	13	5	3.3	3.3	12.2	2.8	2.8			
Site Area	Block 02	Apartment	B02.0310	2 Bed (4p)	A2A	2	4	Dual Aspect	N/E	75.42	73			24.5	24.4	32.1	30	7.7	6	7	7	4.3	3.6	13.0	3.0	2.8	11.5	2.8	2.8